

**TOWNSHIP OF VERONA  
BOARD OF ADJUSTMENT APPLICATION**

DATE APPLICATION: November 12, 2020.

CASE # 2021-04

PROPERTY ADDRESS: 63 Fairview Avenue, Verona, NJ, 07044-1342.

BLOCK: 1605 LOT: 7

ZONE: R-70 (Low Density Residential).

APPLICANT'S NAME: Pardiwala Chandrakant S. & Dipika C.

PHONE #: (973) 571-1974.

CELL PHONE #: (862) 621-3836.

EMAIL: csp0304@gmail.com

PROPERTY OWNER'S NAME: Pardiwala Chandrakant S. & Dipika C.

PROPERTY OWNER'S ADDRESS: 63 Fairview Avenue, Verona, NJ, 07044-1342.

PROPERTY OWNER'S PHONE #: (973) 571-1974.

CELL #: (862) 621-3836.

PROPERTY OWNER'S EMAIL: csp0304@gmail.com

RELATIONSHIP OF APPLICANT TO OWNER: Self.

REQUEST IS HEREBY MADE FOR PERMISSION TO DO THE FOLLOWING:

We are seeking an approval to remove existing deteriorated (22'x5') wooden deck and stairs, and replace with new (22'x12') transcend composite frame deck and stairs, including excavating required installing typical piers / columns for the support of the deck itself.

CONTRARY TO THE FOLLOWING:

The property is a corner lot with Frontage on Two Streets (Fairview Avenue and Personette Avenue).

LOT SIZE: EXISTING: 10,186.00 Sq. ft. PROPOSED: 10,186.00 Sq. ft. TOTAL: No Change.

HIEGHT: EXISTING: No Change. PROPOSED: No Change.

PERCENTAGE OF BUILDING COVERAGE: EXISTING 13.88 %. PROPOSED 15.60 %.

PERCENTAGE OF IMPROVED LOT COVERAGE: EXISTING 21.21 %. PROPOSED 23.94 %.

PRESENT USE \_\_\_\_\_

PROPOSED USE \_\_\_\_\_

SET BACKS OF BUILDING:	REQUIRED	EXISTING	PROPOSED
FRONT YARD - 1 (Fairview Ave.)	<u>30.00 Ft.</u>	<u>38.46 Ft.</u>	<u>No Change.</u>
FRONT YARD - 2 (Personette Ave.)	<u>30.00 Ft.</u>	<u>35.55 Ft.</u>	<u>No Change.</u>
REAR YARD	<u>30.00 Ft.</u>	<u>30.00 Ft. to Deck.</u>	<u>23.00 Ft. to Deck.</u>
SIDE YARD (1)	<u>9.50 Ft.</u>	<u>9.15 Ft.</u>	<u>No Change.</u>

DATE PROPERTY WAS ACQUIRED: 06/25/1996.

TYPE OF CONSTRUCTION PROPOSED: Construction of (22'x12') transcend composite frame deck and staircase, including excavating required installing typical piers / columns for the support of the deck itself. No utilities involved.

SIGN INFORMATION (if applicable): supply details on location, dimensions, height and illumination  
N/A.

AREA PER FLOOR (square feet):	EXISTING	PROPOSED	TOTAL
BASEMENT	<u>No Change</u>	_____	_____
FIRST FLOOR	<u>No Change</u>	_____	_____
SECOND FLOOR	<u>No Change</u>	_____	_____
ATTIC	<u>No Change</u>	_____	_____

NUMBER OF DWELLING UNITS: EXISTING 1. PROPOSED N/A.

NUMBER OF PARKING SPACES: EXISTING N/A. PROPOSED N/A.

History of any previous appeals to the Board of Adjustments and the Planning Board  
None.

What are the exceptional conditions that warrant relief from compliance with the Zoning Ordinance?  
The home owners have a hardship of moving around on the deck. Since my mother who is 85 years old suffering from arthritis and both knee problems using a walker or cane to move. My wife has both knee replacement done and I am suffering with back problem.

Supply a statement of facts showing how relief can be granted without substantial detriment to the public good and without substantially impairing the intent and purpose of the Zone Plan and the Zoning Ordinance  
The rear yard set back is a question is adjacent to neighbor that we have no issues or problems. The new construction will be with no utilities involved.

History of any deed restrictions:  
None.

A legible plot plan or survey to scale (not less than 1"=100') of the property indicating the existing and/or proposed structure and scale drawings of the existing and/or proposed structure must be provided.

A copy of any conditional contract relating to this application must be filed with this application.

If the applicant is a corporation or partnership, the names, addresses and phone numbers of those owning a 10% or greater interest in the corporation shall be provided.

Name _____	Address _____	Phone # _____
Name _____	Address _____	Phone # _____
Name _____	Address _____	Phone # _____
Name _____	Address _____	Phone # _____

Expert witness(es) that will present evidence on behalf of this application:

Attorney:

Name \_\_\_\_\_

Address \_\_\_\_\_

Phone # \_\_\_\_\_

Fax # \_\_\_\_\_

Email \_\_\_\_\_

Architect/Engineer:

Name \_\_\_\_\_

Address \_\_\_\_\_

Phone # \_\_\_\_\_

Fax # \_\_\_\_\_

Email \_\_\_\_\_

Planner:

Name \_\_\_\_\_

Address \_\_\_\_\_

Phone # \_\_\_\_\_

Fax # \_\_\_\_\_

BOARD OF ADJUSTMENT APPLICATION SITE PLAN

O INDICATES SHRUBS OR TREES  
X INDICATES FENCES

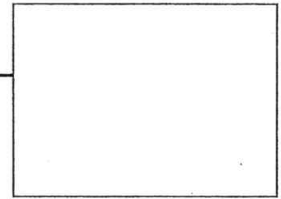
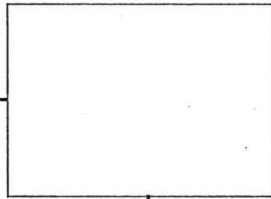
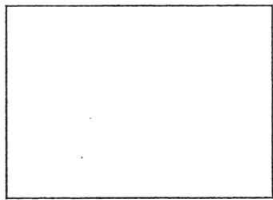
(SEE ATTACHED)

STREET

NEIGHBOR'S HOUSE  
ESTIMATE DISTANCE FROM  
THE PROPOERTY LINE  
HOUSE ON LEFT

APPLICANT'S HOUSE  
SHOW THE DISTANCE TO THE  
PROPERTY LINE FROM  
SURVEY  
CENTER HOUSE

NEIGHBOR'S HOUSE  
ESTIMATE DISTANCE FROM  
THE PROPOERTY LINE  
HOUSE ON RIGHT



SET BACK FROM STREET



SET BACK FROM STREET



SET BACK FROM STREET

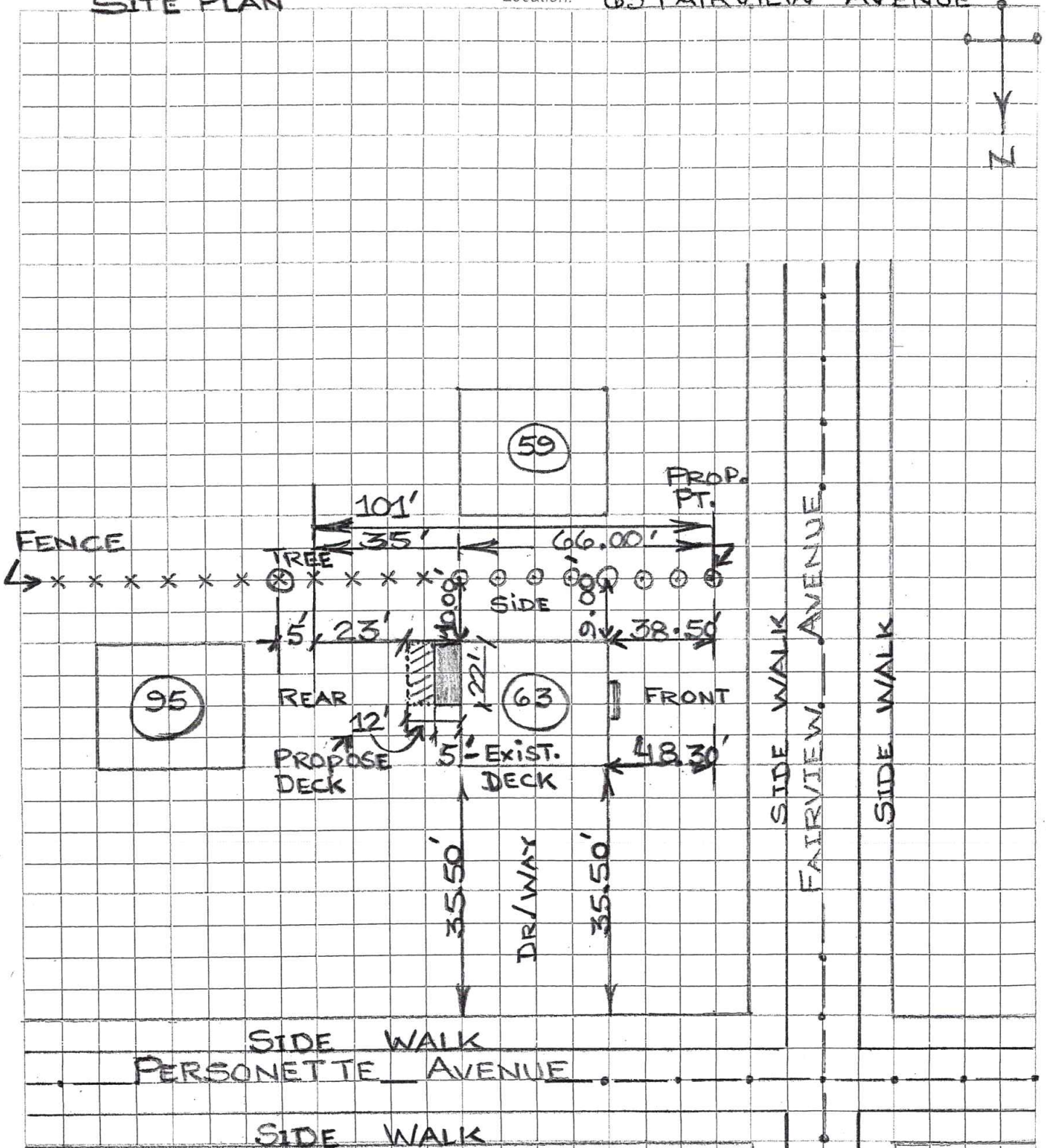


BOARD OF ADJUSTMENT APPLICATION SITE PLAN

O INDICATES SHRUBS OR TREES  
X INDICATES FENCES

SITE PLAN

Location: 63 FAIRVIEW AVENUE



DRAWING NOT TO SCALE.

MEASUREMENTS ARE AS PER SURVEY

MEASURED: FROM S/WALK TO BLDG. ON TWO FRONTS.

FROM BUSH/FENCE TO BLDG. ON SIDE.

FROM TREE TO BLDG. ON REAR.

AFFIDAVIT OF OWNERSHIP

STATE OF NEW JERSEY  
COUNTY OF ESSEX

Pardiwala Chandrakant S. and Dipika C. OF FULL AGE, BEING DULY SWORN ACCORDING TO LAW ON OATH DEPOSED AND SAYS, THAT DEPONENT RESIDES AT 63 Fairview Avenue, IN THE CITY OF Verona IN THE COUNTY OF Essex AND STATE OF New Jersey AND THAT Pardiwala Chandrakant S. and Dipika C. IS THE OWNER IN FEE OF ALL THAT CERTAIN LOT, PIECE OF LAND, SITUATED, LYING AND BEING IN THE TOWNSHIP OF VERONA AFORESAID AND KNOWN AND DESIGNATED AS BLOCK 1605 AND LOT - 7 AS SHOWN ON THE TAX MAPS OF THE TOWNSHIP OF VERONA.

Justin Haslam

NOTARY

[Signature] D. C. Pardiwala

OWNER

AFFIDAVIT OF APPLICANT

**JUSTIN C HASLAM**  
Notary Public  
State of New Jersey  
My Commission Expires Nov. 19, 2024  
I.D.# 2459497

COUNTY OF ESSEX  
STATE OF NEW JERSEY

Pardiwala Chandrakant S. and Dipika C. OF FULL AGE, BEING DULY SWORN ACCORDING TO LAW, ON OATH DEPOSED AND SAYS THAT ALL OF THE ABOVE STATEMENTS CONTAINED IN THE PAPERS SUBMITTED HERewith ARE TRUE. SWORN TO AND SUBSCRIBED BEFORE ME ON THIS 12<sup>th</sup> DAY OF November 2020.

Justin Haslam

NOTARY

[Signature] D. C. Pardiwala

APPLICANT

**JUSTIN C HASLAM**  
Notary Public  
State of New Jersey  
My Commission Expires Nov. 19, 2024  
I.D.# 2459497

MAYOR  
JACK McEVOY  
DEPUTY MAYOR  
ALEX ROMAN  
COUNCILMEMBERS  
KEVIN J. RYAN  
EDWARD GIBLIN  
CHRISTINE McGRATH

TOWNSHIP OF VERONA  
COUNTY OF ESSEX, NEW JERSEY



TOWNSHIP MANAGER  
MATTHEW CAVALLLO  
TOWNSHIP CLERK  
JENNIFER KIERNAN  
TOWNSHIP ATTORNEY  
BRIAN J. ALOIA, ESQ.

VERONA COMMUNITY CENTER  
880 BLOOMFIELD AVENUE  
VERONA, NEW JERSEY 07044

MUNICIPAL BUILDING  
600 BLOOMFIELD AVENUE  
VERONA, NEW JERSEY 07044

DEPARTMENT OF PUBLIC WORKS  
10 COMMERCE COURT  
VERONA, NEW JERSEY 07044

Date: October 10, 2019

(973) 239-3220  
WWW.VERONANJ.ORG

Township of Verona Zoning Dept.  
Re: Zoning Letter of Denial

Owner/Applicant: Mr. & Mrs. Dipika Pardiwala  
63 Fairview Avenue  
Verona, NJ 07044

Property: 63 Fairview Avenue  
Lot 7 Block 1605

Zone: R-70 (Low Density)

This office is in receipt of and has reviewed the zoning permit application for the construction of a new frame deck and stairs at 63 Fairview Avenue. There is an existing 4' x 22' frame deck which the applicant is proposing to remove and replace with a new 12' x 22' frame deck. The proposed deck is shown as being attached to the existing frame dwelling. No deck plans have been submitted or reviewed as part of this application. The applicant has provided a property survey prepared by Frederick C. Meola, Licensed Engineer and Land Surveyor, dated 06/18/96.

With that we offer the following:

The property commonly known as 63 Fairview Avenue and also being shown on the Official Tax Maps of the Township of Verona as Tax Lot 7 in Block 1605, is situate in the Townships "R-70" Low Density Residential Zone, as shown upon the Townships official Zoning Map, prepared by Kasler Associates, PA dated July 11, 2011. The property is a corner lot and is subject to specific lot regulations under §150-5.3 E.3. "Corner Lot, Frontage on Two Streets".

Zoning Review:

- The minimum required side yard setback under §150.5.3 E.3 is 9.5 feet.  
The existing dwelling is shown as having a side yard setback of 9.15 feet. **Exist. Non Compliance**
- The minimum required front yard setback is 30 feet. Fairview Ave. & Personette Ave.  
The exist. dwelling is shown as having a front yard setback of 38.46 feet. Fairview Ave. **Complies**  
The exist. dwelling is shown as having a front yard setback of 35.55 feet. Personette Ave. **Complies**
- The minimum required rear yard setback is 30 feet.  
The exist. dwelling has a rear yard setback of \*\*30 feet to exist. deck. **Complies**  
The prop. dwelling will have a rear yard setback of \*\*23 feet to the prop. deck. **Non Compliance**

\*\*Coverage Calculations:

- The maximum permitted lot coverage (Buildings) for the zone is 20%  
The existing lot coverage \*(Buildings) is 13.88% **Complies**  
The proposed lot coverage \*(Buildings) is 15.60% **Complies**
- The maximum permitted improved lot coverage (All) for the zone is 35%  
The existing improved lot coverage (All) is 21.21% **Complies**  
The proposed improved lot coverage (All) is 23.94% **Complies**

\* §150-7.1 E – When an accessory structure is attached to the principal dwelling, it shall comply in all respects with the requirements of the ordinance applicable to the principal dwelling, including lot coverage.

\*\* Measures and calculations were scaled and are plus/minus 0.5%.

Decision

This office has **DENIED** the request for zoning as requested by the applicant for the following reasons:

The proposed deck will be within the rear yard setback. 30 feet required, 23 feet provided, a relief of 7 feet is required.

**Variance Required §150-17.2 E.5 (Minimum Rear Yard Setback from 30 feet to 23 feet.)**

*Respectfully Submitted,*

*Michael C DeCarlo*

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Michael C. DeCarlo – Engineering Manager  
Zoning Officer

- *Appeals to the zoning board of adjustment from the decision of an administrative officer must be taken within 20 days by filing a notice of appeal with the officer from whom the appeal is taken specifying the grounds of such appeal. N.J.S. 40:55D-72a. Failure to adhere to the time for appeal will result in the zoning board not having jurisdiction to consider the appeal.*

*Respectfully Submitted,*

*Michael C. DeCarlo*

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Michael C. DeCarlo – Engineering Manager  
Zoning Officer





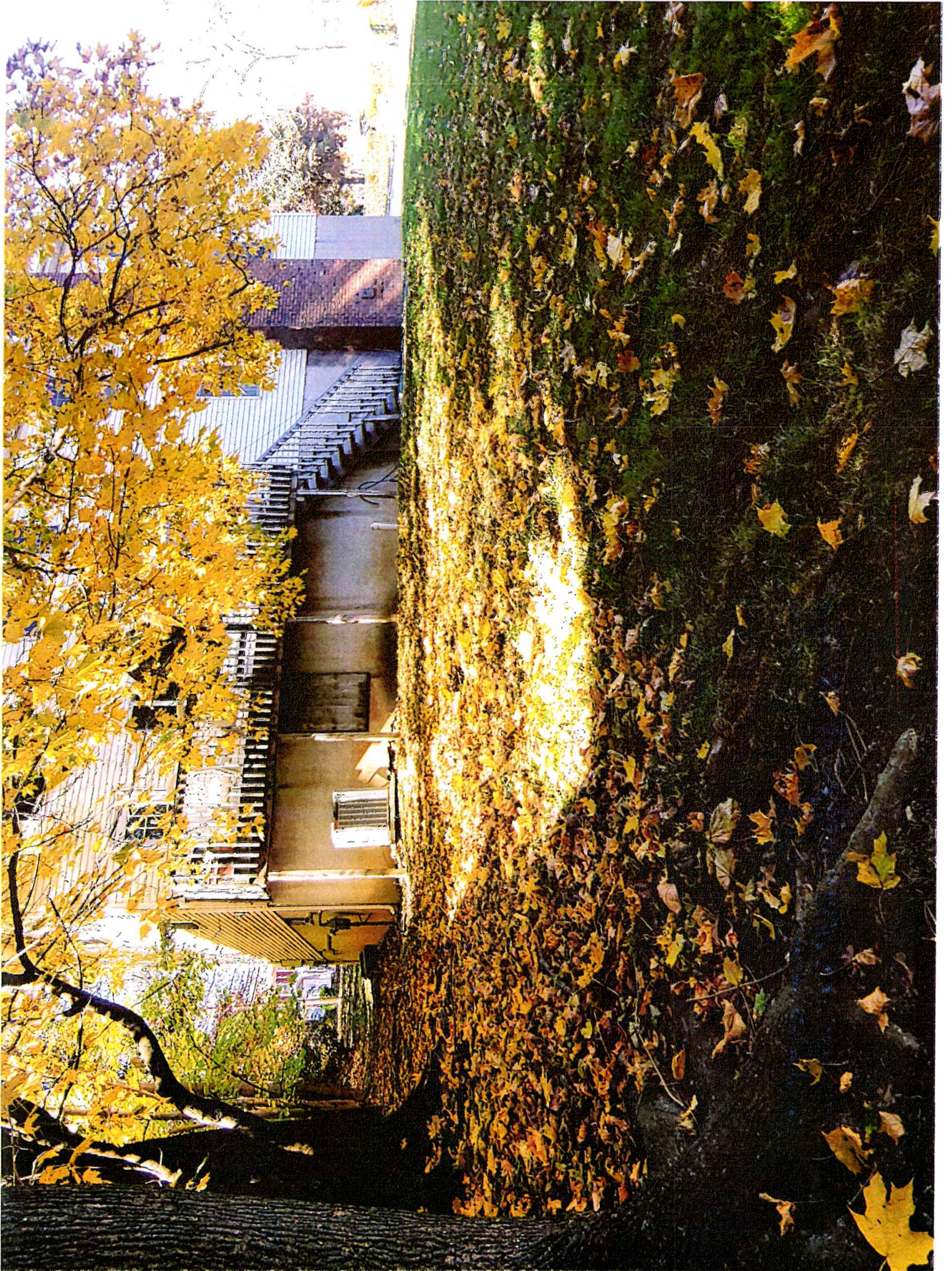












THIS DECLARATION IS MADE TO THE NAMED PARTIES ONLY. NO RESPONSIBILITY OR LIABILITY IS ASSUMED BY THE SURVEYOR TO ANY PERSON OR PARTY NOT LISTED IN THIS DECLARATION. THIS SURVEY IS INVALID WITHOUT THE EMBOSSED SEAL AND ORIGINAL SIGNATURE OF THE SURVEYOR IN GREEN INK. CORNER MARKERS NOT SET PER CONTRACT WITH THE ULTIMATE USER

IN MY PROFESSIONAL OPINION AND BELIEF AND BASED ON THE REFERENCED DOCUMENTATION I DECLARE THIS SURVEY TO BE CORRECT AND ACCURATE TO THE FOLLOWING PARTIES ONLY  
 CHANDRAKANT PARDIWALA  
 DIPIKA PARDIWALA  
 FIRST AMERICAN TITLE INSURANCE COMPANY

JAMES C. DeZAO, ESQUIRE  
 NORWEST MORTGAGE, INC. ITS  
 SUCCESSORS AND/OR ASSIGNS

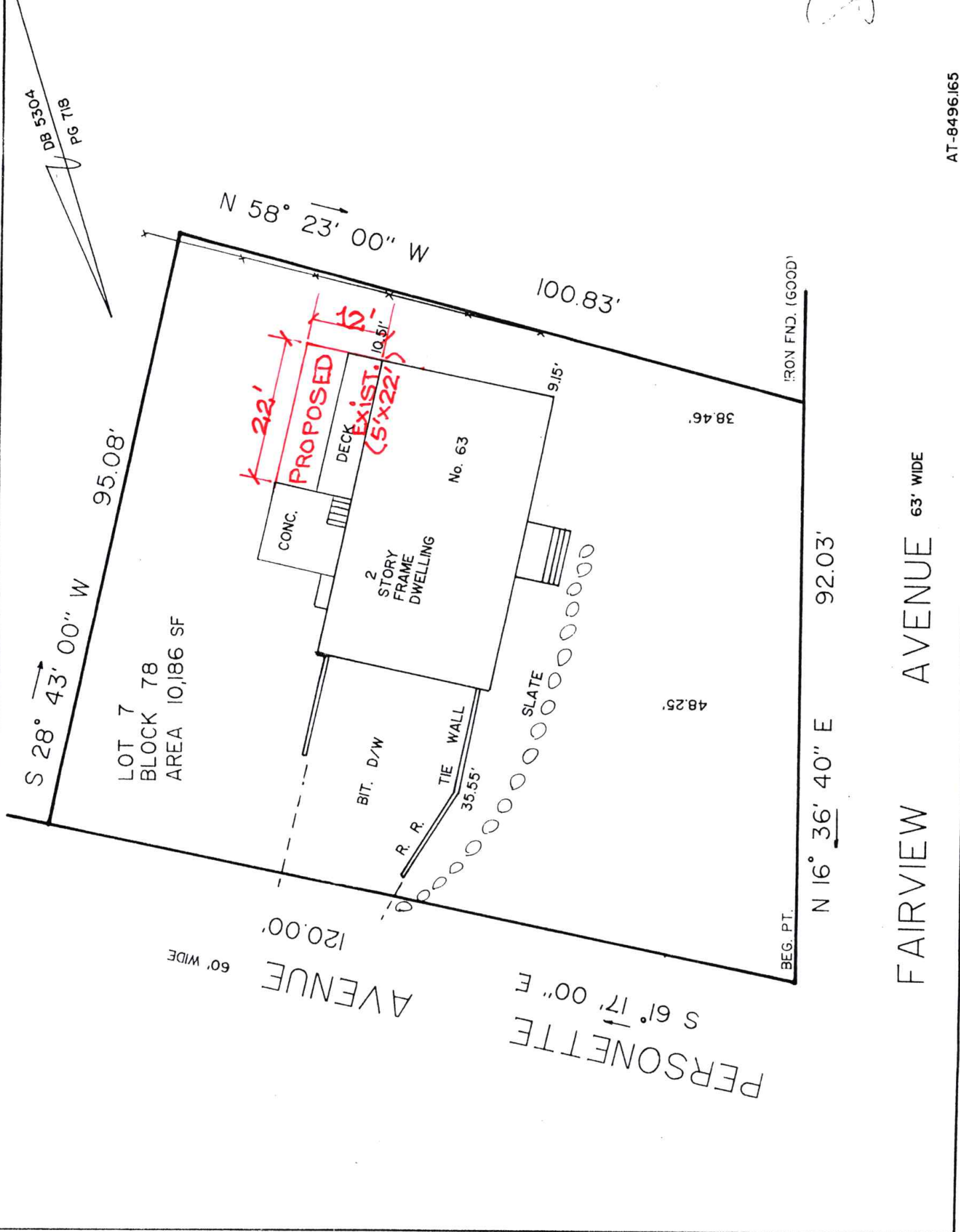
**SURVEY**

LOT 7 BLOCK 78  
 TOWNSHIP OF VERONA  
 ESSEX COUNTY, N.J.

DATE: 6/18/96 SCALE: 1"=20' F.B.: 13/36

**FREDERICK C. MEOLA**

LICENSED PROFESSIONAL ENGINEER AND  
 LAND SURVEYOR, N.J. NUMBER 22708  
 83 NORTH BELAIR AVE., CEDAR KNOLLS, N.J.  
 PHONE (201) 538-8863 ZIP 07927  
 FAX (201) 538-5715  
 FILE: 960532 C.D.: AQ 960532.500.



DB 5304  
 PG 718

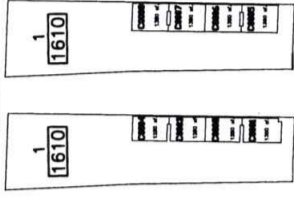
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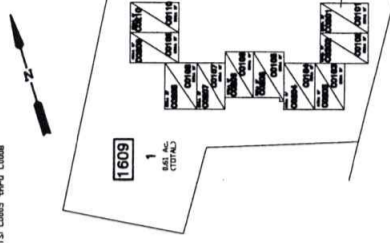
REVISIONS		
DATE	BY	DESCRIPTION
9/12/83	JMH	24972 80 21.45-49
1/7/85	JMH	24972 80 45.50-51
4/19/85	JMH	24972 84
7/8/86	JMH	24972 209, 209.01
12/17/88	JMH	24972 93
1/1/2013	JMH	24972 78
1/7/2013	JMH	24972 80
1/7/2013	JMH	24972 80
05/20/13	ED CLAY	1804
		1804
		21.48-49



SCALE 1" = 80'



1st FLOOR UNITS CORR 1974 CORR  
2nd FLOOR UNITS CORR 1974 CORR



SCALE 1" = 50'

BASEMENT UNIT CORR  
1st FLOOR UNITS CORR 1974 CORR  
2nd FLOOR UNITS CORR 1974 CORR

INSERT A - 741 BLOOMFIELD AVENUE

THIS IS A DIGITIZED COPY OF THE TAX MAP  
PREPARED BY JAMES M. HELB, P.E., P.L.S., P.P.  
DATED JAN. 1, 1983. THE APPROVED  
ORIGINAL IS ON FILE IN THE OFFICE OF  
THE ENGINEER.

**TAX MAP**  
**TOWNSHIP OF VERONA**  
 ESSEX COUNTY, NEW JERSEY  
 SCALE 1"=100'  
 JANUARY 1, 2017  
 PREPARED BY  
**JAMES M. HELB, P.E., P.L.S., P.P.**  
 NEW JERSEY LICENSE NO. 24272  
 TOWNSHIP ENGINEER  
 10 COMMERCIAL COURT  
 VERONA, NJ 07064

THIS MAP HAS BEEN GIVEN A  
 FORMAL CERTIFICATION DIVISION  
 OF TAXATION ON NOVEMBER 27,  
 2015, SIGNED BY JUDY P. MILLER  
 AND TIFFANY A. FIELDS AND  
 ASSIGNED SERIAL NUMBER 1067

SHEET 23

SHEET 23

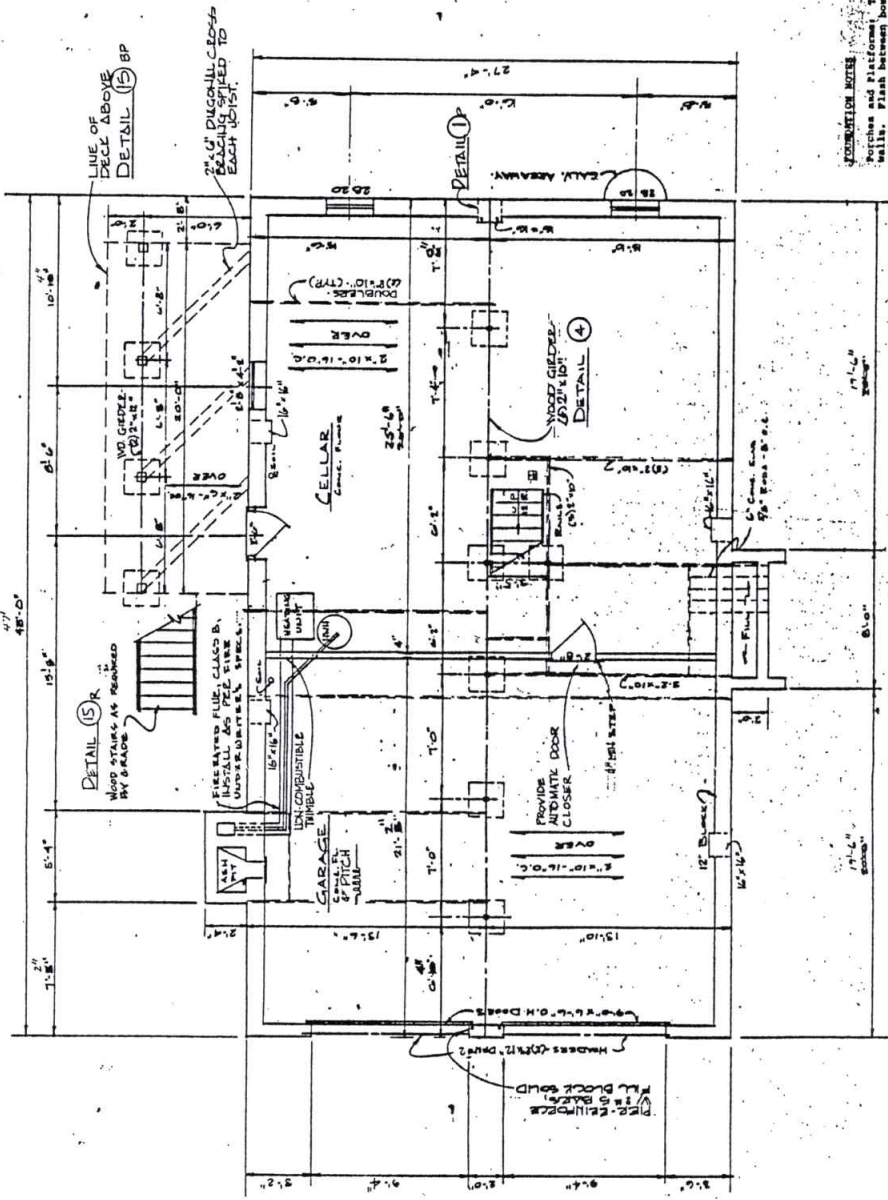
SHEET 15

SHEET 22

SHEET 21

SHEET 18

SHEET 17



**FOUNDATION NOTES**

Porches and Platforms: 2' x 4' foundation walls to callar or main foundation and concrete. Pour concrete between all fill and wood. Block slab base on concrete.

Beams and Posts: Location as shown. Type steel and size as shown. Firecode spans will be board extending beyond all equipment. Combustion air for mechanical equipment shall be provided through ducts to frame air ducts.

Reinforcement: Reinforcement shall be "Anderson" products of equal, with stirrups.

Block Foundation: Block foundation walls shall be backfilled no more than 1'-0" from exterior finished floor.

Joist: Joist spacing and paneling, including and including 3/4" AC piped panels.

Stairs: At other intersections provide heavy duty steel connecting rods.

Refer to Detail (5) for steps, fireproofing, finish of exterior walls and both interior and exterior walls. All walls shall be finished with 1/2" gypsum board and 1/2" drywall. All walls shall be fire-rated. All walls shall be fire-rated.

ISSUED FOR		DATE	CHKD BY	CRD DATE
PRELIMINARY	REV	5-22-76	WAL	5-11-76
ERECTOR	REV	11-23-77	CK	11-23-77
PRODUCTION	REV	1-13-81	AS	8-3-81
	REV	8-10-85	BAI	8-10-85
	REV	4-30-86	WAL	7-8-86
	REV	1-14-88	WAL	7-27-88

DATE DRAWN: 5-11-76  
SCALE: 1/4" = 1'-0"

SHEET (3) OF 1

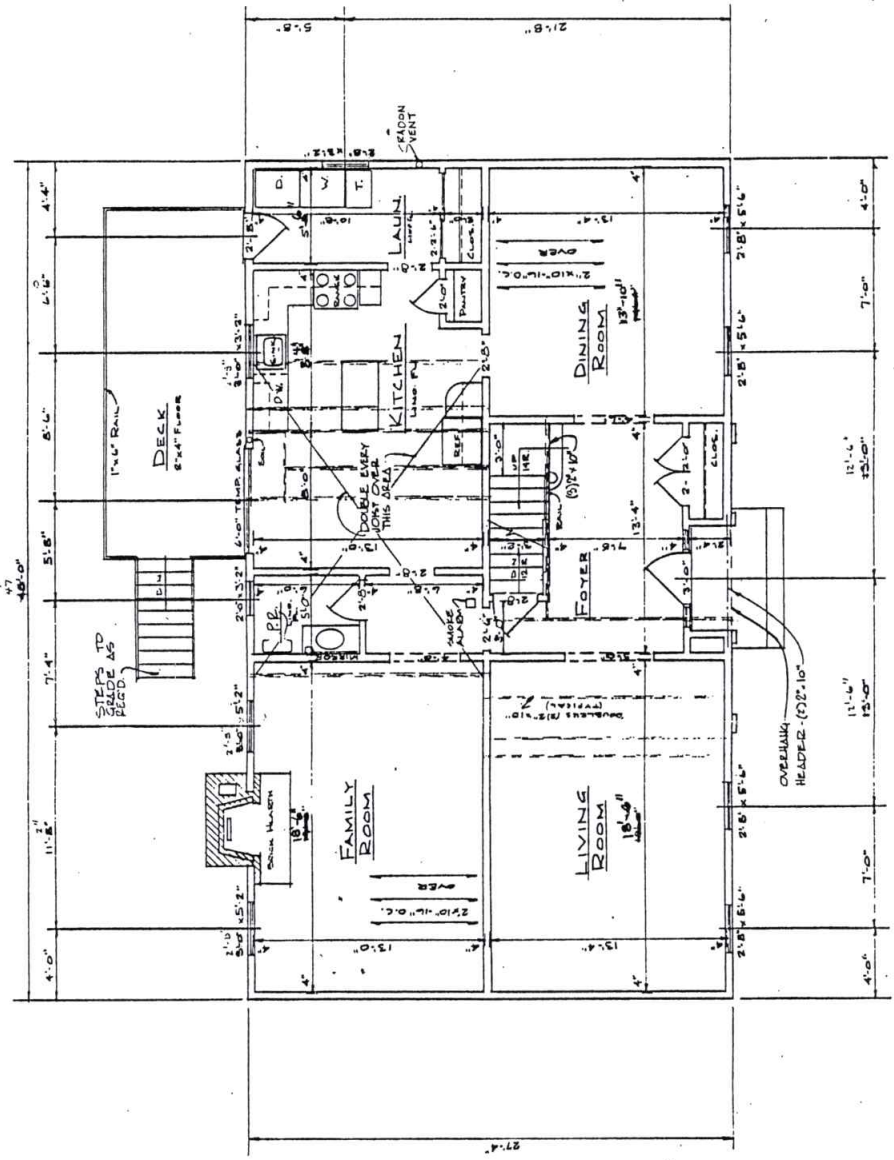
CDMA NO. 74224

**FOUNDATION PLAN**

**WASHINGTON ARCHITECTURAL GROUP, P.A.**

1700 15TH AVENUE, NORTH STAMFORD, N.J. 08053  
201-545-7178

RAYD C. WASHINGTON, ARCHITECT (CERT. NO. 00801) *Ray C. Washington*



**FLOOR PLAN NOTES**

House Overhangs and Cantilevers: Insulate and install 3/8" AC plywood under.

DATE DRAWN 5.11.74  
SCALE 1/4" = 1'-0"  
SHEET 3 OF 3  
DRAWING NO. 7622LE

**WASHINGTON ARCHITECTURAL GROUP, P.A.**  
MT. KEMBLE AVENUE, MORRISTOWN, N.J. 07960  
201-432-7722



DAVID C. WASHINGTON, ARCHITECT CERT. NO. 06401

**FIRST FLOOR PLAN**

ISSUED FOR	DATE	DRAWING	DRAWN BY	DATE	CHKD. BY	CHKD. DATE
PRELIMINARY		ALG	WAL	5-22-74	WAL	5-21-74
BID		KEP	DW	5-16-77	DW	5-13-77
ERECTION		LD	WAL	6-18-77	WAL	7-2-82
PRODUCTION		JH	TEC	4-12-81	TEC	4-12-81

**CHECKS AND TYPES OF LUMBER**  
 The design engineer will be equal to or greater than the design factors required on the Schedule of Structural Materials. Information for the design factors has been taken from the CAD One 4.0. The wood is assumed to be from the National Forest Products Association.

The R<sub>e</sub> for headers and girders is based on single member use. (All headers will have an R<sub>e</sub> of at least 1000). Joists and rafters are based on repetitive member use with factors for compression parallel to grain (R<sub>c</sub>).

Where specific species and grades are specified in the Schedule of Structural Materials, no substitution may be used unless the substituted species exceeds or equals the required design strength.

**EXAMPLES OF LUMBER SPECIES**  
 Species: White Pine No. 1  
 Southern Pine No. 2  
 Hem-Fir Bark No. 2  
 Southern Pine No. 2  
 Hem-Fir Bark No. 2

**ABBREVIATIONS**  
 P - modulus of elasticity  
 F - axial compressive force  
 S - single member use  
 R - repetitive member use

**DESIGN VALUES**

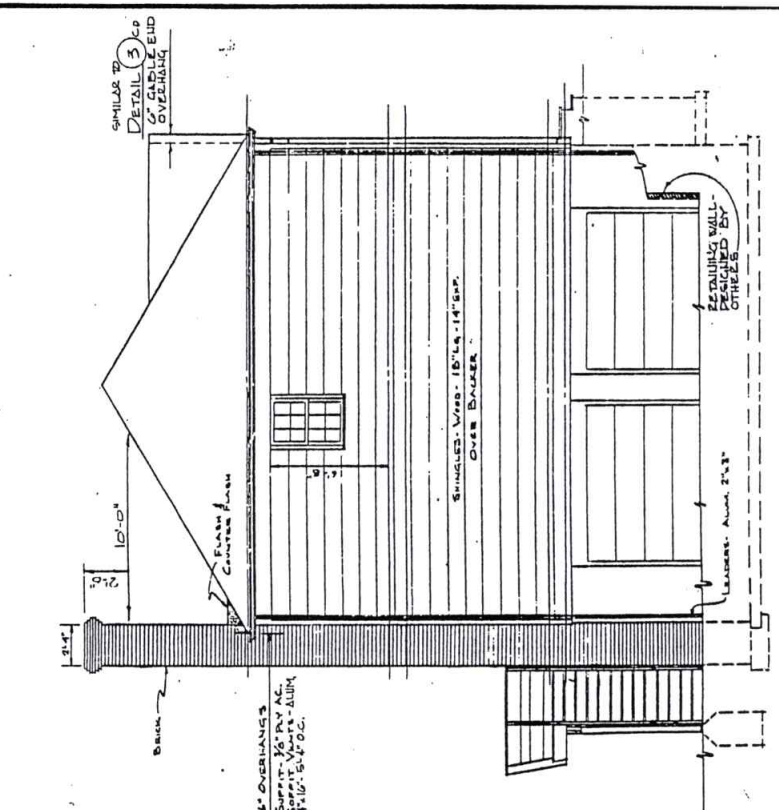
F <sub>u</sub>	2900
F <sub>t</sub>	1200
F <sub>b</sub>	2100
F <sub>v</sub>	1500
F <sub>w</sub>	1800
F <sub>c</sub>	2100
F <sub>p</sub>	2100

**FILTER MEDIA**  
 Wood - 2100  
 Steel - 2900  
 Cast Iron - 2100  
 Micro Line Iron - 2100

Footings are designed to bear on soil having a bearing value of 3000 pounds per square foot or more.

**SCHEDULE OF STRUCTURAL MATERIALS**

ITEM	TYPE	SIZE	FOUNDATIONS
FOOTINGS	CONTINUOUS CONC.	24" x 24"	3000 PSI
CELLAR WALLS	REF. TO DETAILS		3000 PSI
OTHER WALLS	REF. TO DETAILS		3000 PSI
CONC. SLABS	REF. TO DETAILS		3000 PSI
GIRDS (CELIAN)	WOOD BIRD	(4) 7" x 10"	1500/1400/000
COLUMNS	LALY	4"	REGULAR
COLUMN FOOTINGS	CONC.	3' x 3'	3000 PSI
ITEM <th>TYPE</th> <th>SIZE</th> <th>FRAMING</th>	TYPE	SIZE	FRAMING
BILL BEAMS	FIBERGLASS	1" x 8"	1500/1400/000
1ST FLOOR JOISTS	SPAN GOOD TO 1ST W.C.	2" x 10" @ 16" O.C.	1500/1400/000
2ND FLOOR JOISTS	SPAN GOOD TO 1ST W.C.	2" x 10" @ 16" O.C.	1500/1400/000
EMF. FLOOR JOISTS	SPAN GOOD TO 1ST W.C.	2" x 10" @ 16" O.C.	1500/1400/000
ATTIC JOISTS	SPAN GOOD TO 1ST W.C.	2" x 10" @ 16" O.C.	1500/1400/000
RAFTERS	SPAN GOOD TO 1ST W.C.	2" x 10" @ 16" O.C.	1500/1400/000
RAFTERS	SPAN GOOD TO 1ST W.C.	2" x 10" @ 16" O.C.	1500/1400/000
RAFTERS	SPAN GOOD TO 1ST W.C.	2" x 10" @ 16" O.C.	1500/1400/000
HEADERS	REFER TO DETAILS		1500/1400/000
STUDS	WOOD	2" x 4" @ 16" O.C.	800/1100/000
CATS	WOOD - AS PER PLANS & DETAILS		800/1100/000
2ND FLOOR	PLYWOOD	1/2"	CD 24/16
WALL SHEATHING	PLYWOOD	5/8"	CD 24/16
MOOF SHEATHING	PLYWOOD	1/2"	CD 24/16
ATTIC FLOOR	PLYWOOD	5/8"	CD 24/16
ITEM <th>TYPE</th> <th>SIZE</th> <th>EXTERIOR DECK FRAMING</th>	TYPE	SIZE	EXTERIOR DECK FRAMING
COISTS	SPAN GOOD TO 1ST W.C.	2" x 10" @ 16" O.C.	1500/1400/000
GIRDERS	WOOD # 1 K.S.		1500/1400/000
ROOMS EXCEPT THOSE USED FOR SLEEPING	REFER TO PLANS		1500/1400/000
ROOMS USED FOR SLEEPING	REFER TO PLANS		1500/1400/000
ITEM <th>TYPE</th> <th>SIZE</th> <th>LIVE LOADS</th>	TYPE	SIZE	LIVE LOADS
EXTERIOR DECKS - 40 PSF			40 PSF
ROOFS - 20 PSF			20 PSF



**LEFT SIDE**

THIS PLAN HAS BEEN ISSUED, USING THE 1981 C.A.B.O. S.B.C.O. USE GROUP R4

**NOTE:**  
 THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE STATE OF NEW JERSEY UNIFORM CONSTRUCTION CODE AS AMENDED, IN ADDITION TO ALL LOCAL ORDINANCES AND REGULATIONS, IN WHICH THE STRUCTURE IS TO BE BUILT, SMALL, SHALL BE COMPLIED WITH.

THE DETAILS LISTED AND ATTACHED TO THIS PLAN ILLUSTRATE TYPICAL GENERAL INFORMATION PERTAINING TO THIS PROJECT HAS BEEN INCORPORATED ON THE DRAWINGS AND MAY SUPPLEMENT AND/OR AMEND THE DETAILS ATTACHED. SHOULD IT BE NECESSARY FOR CLARIFICATION OR EXPLANATION OF THESE DOCUMENTS, THE ARCHITECT MAY BE CONTACTED AT THE PHONE NUMBER NOTED BELOW.

CELLAR OR LOWER LEVEL	656	60 FT	BARGE	550	80 FT
FIRST FLOOR	1312	120 FT	COVERED PORCHES	1225	80 FT
SECOND FLOOR	1312	120 FT	TOTAL LOT COVERAGE	3415	80 FT
TOTAL FLOOR AREA	3980	3410	VOLUME	54150	CUFT

USE GROUP R4 - FRAME CONSTRUCTION TYPE II  
 BTL - COLL-CALL - TYPE - 1.50-5-STORY - PLAN - A

DETAILS REQUIRED TO COMPLETE THIS PLAN: REF. TO 20-00-SH, 4, 7, 15-04, U.S.K., 22-1, 25-04, 30-10-05, 31-1, P.S. D.W., I.E.C.

WASHINGTON ARCHITECTURAL GROUP, P.A.  
 301-435-7722  
 703-260  
 4-2-84  
 DATE DRAWN: 2/23/84  
 SCALE: 1/4" = 1'-0"

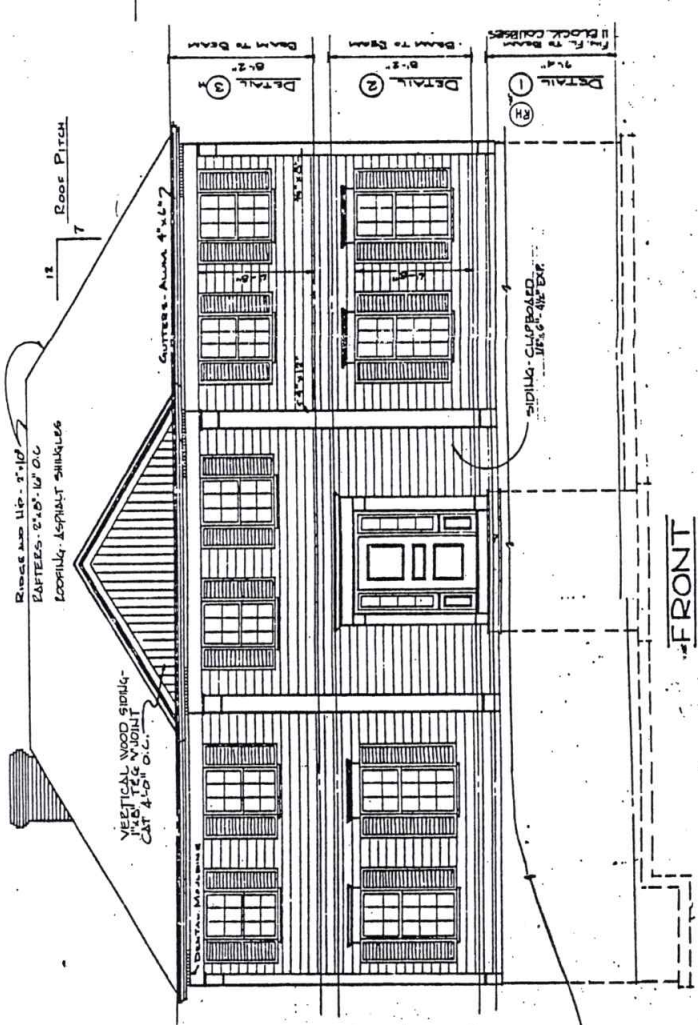
DAVID G. WASHINGTON, ARCHITECT CERT. NO. 08001  
 44-D-11-2  
 SHEET 1 OF 1  
 DRAWING NO. 264

**ELEVATIONS**  
 RESIDENCE TO BE ERRECTED BY:  
 S4H CONSTRUCTION  
 AT: VERONA, NEW JERSEY  
 LOT: 7  
 BLOCK: 7B

THIS PLAN IS THE PROPERTY OF THE ARCHITECTURAL GROUP. IT IS A SERVICE RENDERED FOR A SPECIFIC PROJECT OF THE LOT AND BLOCK INDICATED AND NOT TO BE REPRODUCED OR COPIED WITHOUT CONSENT. IF BEING USED FOR ANY OTHER PROJECT, THE ARCHITECTURAL FIRM AS SET FORTH ON REVERSE SIDE OF PLAN ORDER.

ISSUED FOR	DATE	BY	DATE
PRELIMINARY	1-25-84	UJ	2-20-84
REV	4-12-84	UJ	4-12-84
ERECTED	4-18-84	UJ	4-18-84
PRODUCTION	4-25-84	UJ	4-25-84

**FRONT**



PLAN BOOK PLAN

**ROOF PLAN NOTES**

The finished roofing and underlayment are to be installed as per the manufacturer's recommendations.

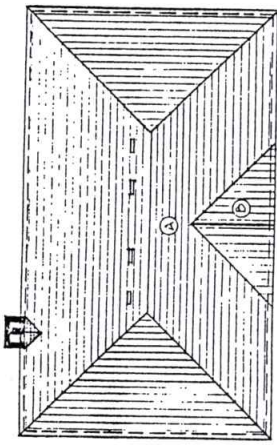
Roofs at or over 4:12 pitch shall have a flashing strip of sheaf surfaced roll roofing applied from the eaves to extend to a point 24 inches (6m) inside the exterior wall line. The flashing strip shall be laid parallel to the eaves with a 4 inch (100mm) lap and end lap raised sufficiently to hold in place.

Roofs under 4:12 pitch but at least 2:12 pitch shall have two layers of underlayment laid single fashion parallel to the eaves with a 12 inch (300mm) lap and 12 inch (300mm) end lap in the preceding courses. The two layers of underlayment are to be cemented together. In addition to the required nailing, from the eaves to extend to a point 24 inches (6m) inside the exterior wall line.

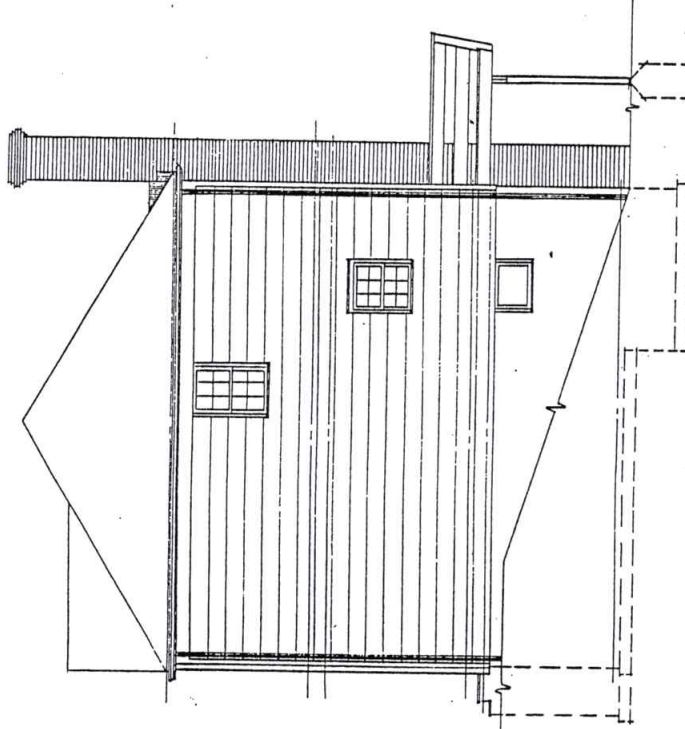
Roof windows and skylights: Roof windows and skylights shall be glazed with approved laminated glass or approved plastic material.

Unless otherwise noted, frames for chimneys and roof exhausts/skylights with double rafters, in cathedral ceilings, for ventilation provide a minimum of 12 inches (300mm) clearance with the exterior wall. If not continuous from the exterior wall to the ridge, if applicable, the ventilation holes shall be placed on both sides of the obstruction.

**ROOF PLAN**  
Scale: 1/8" = 1'-0"



**ROOF CONSTRUCTION SEQUENCE**  
BUILD ROOF FIRST -  
BUILD ROOF ON TOP OF A



**RIGHT SIDE**

**GRADING**

The grade shall be placed away from the structure a minimum pitch of 1:12, 10 inches in 10 feet and a minimum 10 feet from the structure, it shall be pitched to a swale. The swale shall be placed a minimum of 12 inches (300mm) from the structure. Backfill shall be free of organic material, construction debris and large rocks. Consideration shall be given to possible additional settlement of the backfill in establishing the final ground level adjacent to the foundation.

**NOTE:**

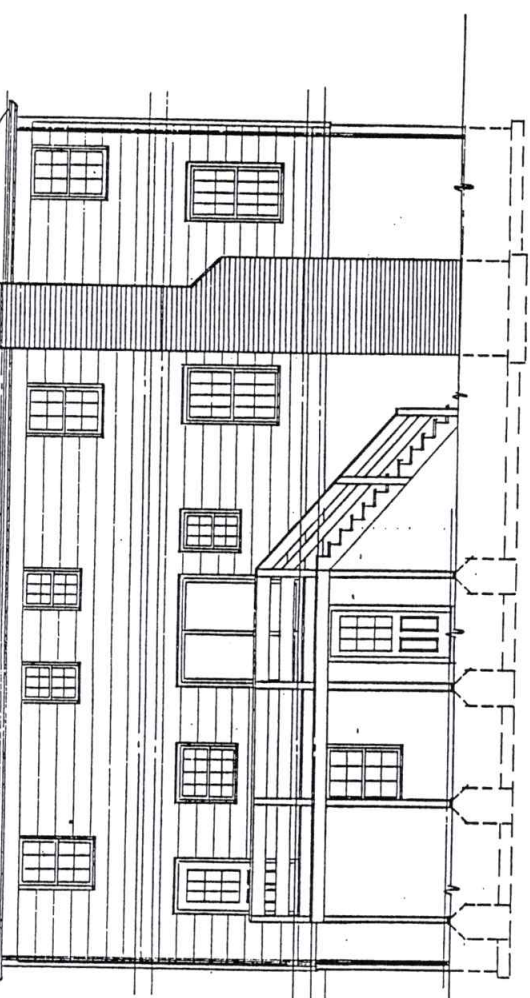
Grades as shown on elevations are approximate and are to be determined by actual conditions. When a grade change requires more than 2 feet of excavation, the contractor shall provide hand rails on platform and steps.

The distance from grade to the finished surface of the floor above the cellar shall be less than 6 feet for more than 50 percent of the total area of the structure, and may not be 17 feet at any point. Should the distance from the exterior wall to the interior wall, the reference plane shall be established by the lowest point between the building and a point 6 feet from the building.

Contractor shall provide proper drainage and grade as required to drain water away from structure.

Contractor shall also be responsible for seeking engineering consultation, if site so demands.

ISSUED FOR:	DATE	DRAWING	DRAWN BY	CHECKED BY	CHK DATE
PRELIMINARY		AWG	AWG	AWG	9-23-76
BID		REP	REP	REP	9-10-77
ERECTOR		DEL	DEL	DEL	11-23-77
PRODUCTION		DEL	DEL	DEL	7-3-79



**REAR**

**ELEVATIONS**

**WASHINGTON ARCHITECTURAL GROUP, P.A.**  
MT. KEBBLE AVENUE, MORRISTOWN, N.J. 07960 .201-435-7722



DAVID C. WASHINGTON, ARCHITECT CERT. NO. 06601 One & One

7-3-80  
DATE DRAWN: 2-27-79  
SCALE: 3/4" = 1'-0"

4-15-74  
SHEET 5 OF 1

COMM. NO. 16-221/E